

ARCHITECTURAL STANDARDS POLICY FOR THE **CLUB HILL**
COMMUNITY OF THE STEDWICK HOMES CORPORATION

*Any exterior modification including those listed below requires prior approval by the
Montgomery Village Foundation Architectural Review Board.*

Purpose: To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **Club Hill** desiring to make exterior alterations or changes to their property. *All modifications must be completed within three months of board approval unless a specific exception is received.*

The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** - The roof shingle color is standard. The original roof color was Philip-Carey "Chocolate Brown". Any replacement to this roof must be CertainTeed "Walnut Brown", "Oakwood Brown" or "Cedar Brown", or an approved equivalent.
2. **Exterior Paint** - Exterior color change requests for house siding, trim, shutters, front door, or storm door are reviewed by the ARB on an individual basis. These changes must be compatible with the style and design of each specific community. No approval is required if the exterior paint colors are not changed from these recorded colors. Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. The Architectural Standards staff is available to assist homeowners in their color selection.
3. **Replacement Siding/Trim/Shutters** – Any change in color, style or material requires prior approval.
4. **Replacement Windows** – Must be the slider (or casement) style without colonial grids. The color will be considered on an individual basis.
Storm Windows – Must be sliders and the color will be reviewed on an individual basis.
5. **Storm/Screen Doors** – Front entrance storm/screen door will be reviewed on an individual basis (see attached drawing for recommended styles). The color of the door must be the color of the front door. *White storm doors will not be approved.*
Security Storm Door - Must be the color of the front door color.

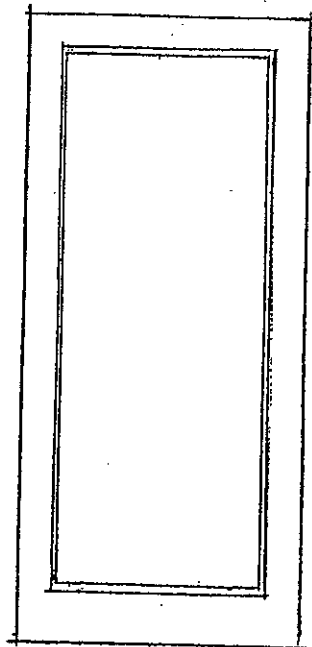
6. **Security Lighting** - Must conform to MVF approved guidelines. *Decorative light fixtures on front elevations must be retained (may include motion sensor lights).*
7. **Elevated Deck** – To be reviewed on an individual basis and subject to the following:
 - a) Deck is not to exceed 8 feet in depth from the rear of the house. Where there is a bay projecting out from the rear of the original construction, the deck may project 10 feet in depth from the rear wall of the house but not the bay.
 - b.) The width of the deck may extend from the outside edge of the sliding glass door to the outside edge of the opposite sliding glass door or window.
 - c) The design, including railings, must follow attached plan for deck (see drawing attachments).
 - d) A third center support post may be added if required. This additional post must match the other deck posts in all details (see drawing attachments).

Elevated Deck Color - Decks may be *natural wood* color or they may also be *stained house siding* color, **McCormick Stain #KCS-12**, or **McCormick/Cabot "Oak Brown"**. Only *clear* preservatives may be used.

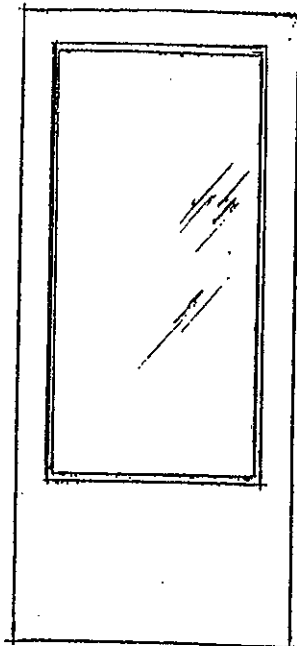
Ground Level Deck – Should be screened with shrubs to enclose that portion between deck and grade that is greater than 12” in height.
8. **Fences** – Must be 1” x 6” alternating cedar or pressure treated wood, height of 48”, 60” or 72” to be determined on an individual basis and natural in color (see drawing). Fencing will be permitted on rear property lines and side property lines extending from the rear corner of the house.
Gate – Must be either the solid board flat top or convex design, 42” in width (see attached drawing).
9. **Storage Sheds** – Will be approved in accordance with attached Shed Guidelines (see attachment).
10. **House Numbers** – Only black or brass metal numbers, no higher than 5”, will be permitted. The original design and location must be retained unless otherwise approved.
11. **Basketball Backboards** - Are not permitted.
12. **Composting** - Residential composting of yard waste will be permitted according to approved guidelines. Contact MVF for these specific guidelines.

Additional guidelines for exterior modifications are available on the MVF website at www.montgomeryvillage.com .

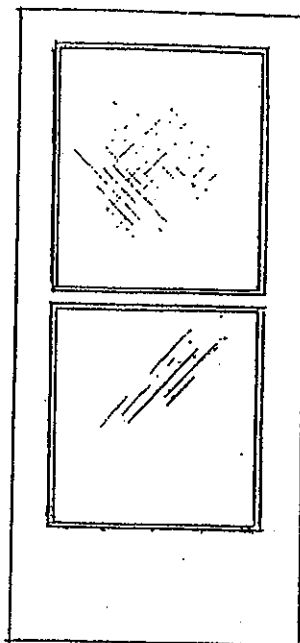
Storm Door Styles



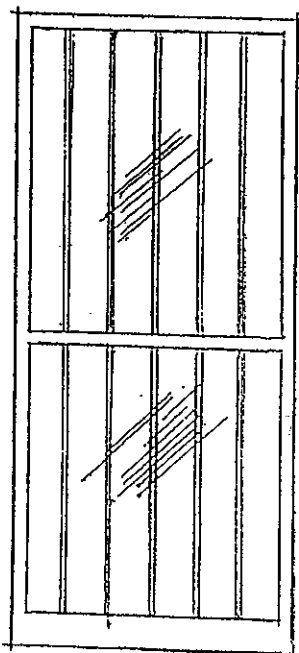
Full view



3/4 Glass



Self-Storing

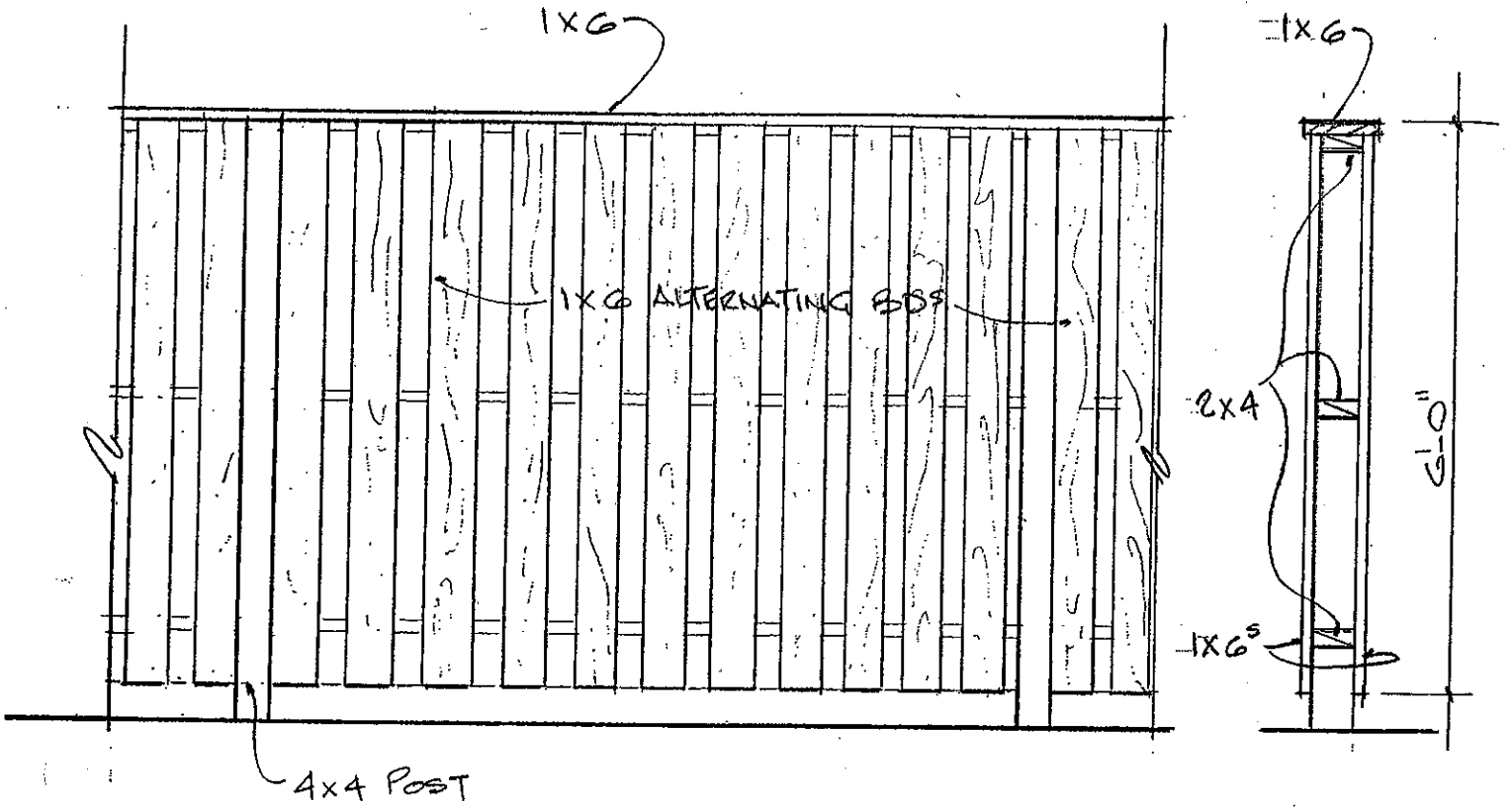


Security Storm Door

*Security storm doors
must be painted front
door color.*

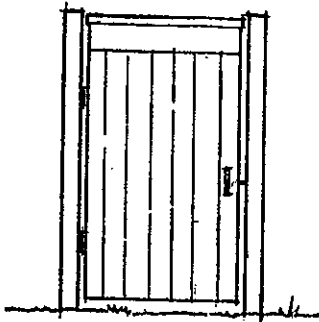
CLUB HILL

Fence and Gate Designs



Unfinished Treated Lumber or Cedar

Gate



CLUB HILL

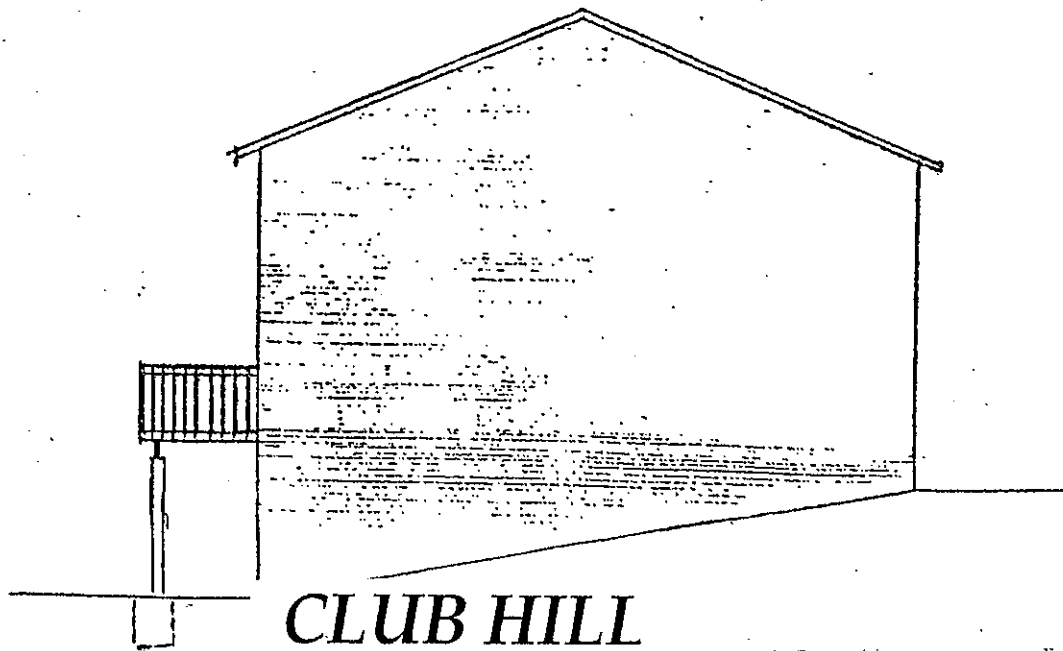
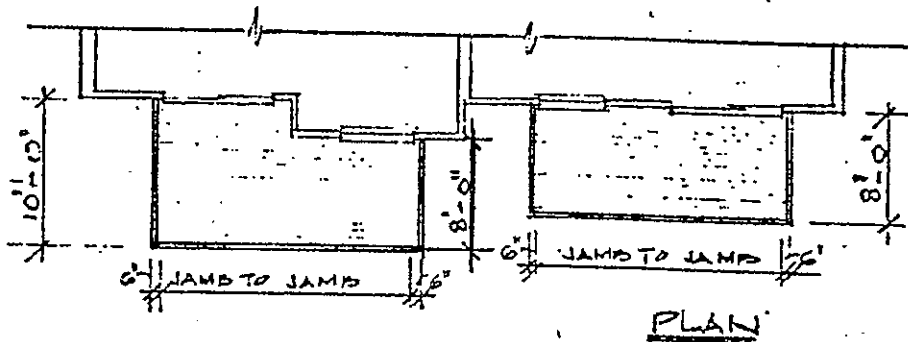
Deck Plan and Elevation

S-13-86
* 9-26-91



BRADDOCK

DENTON-ANNAPOLIS
& CUMBERLAND



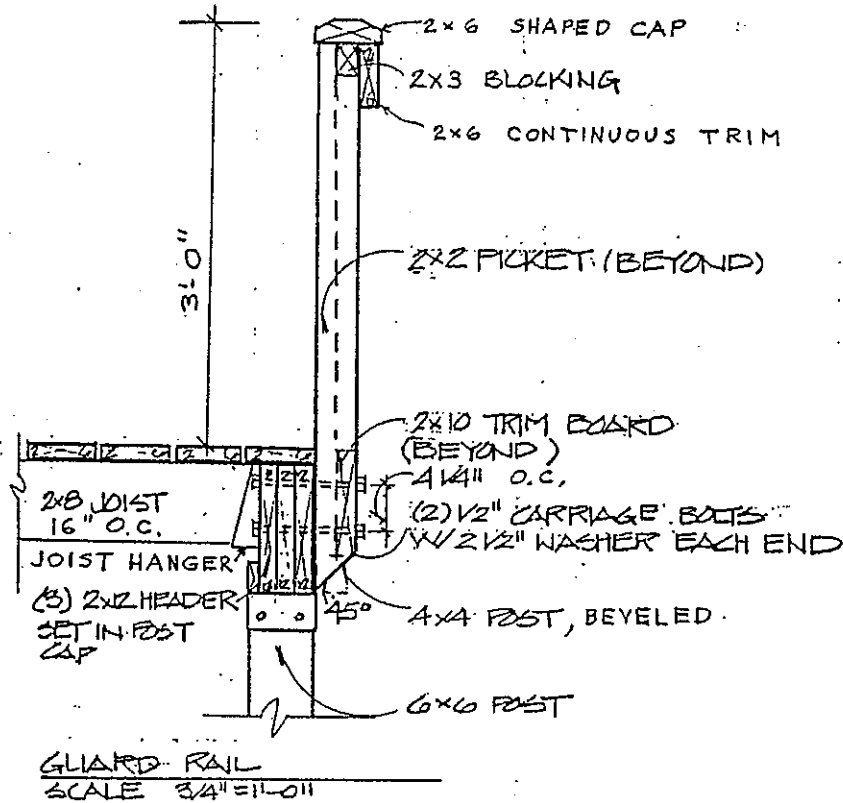
CLUB HILL

TOWNHOUSES

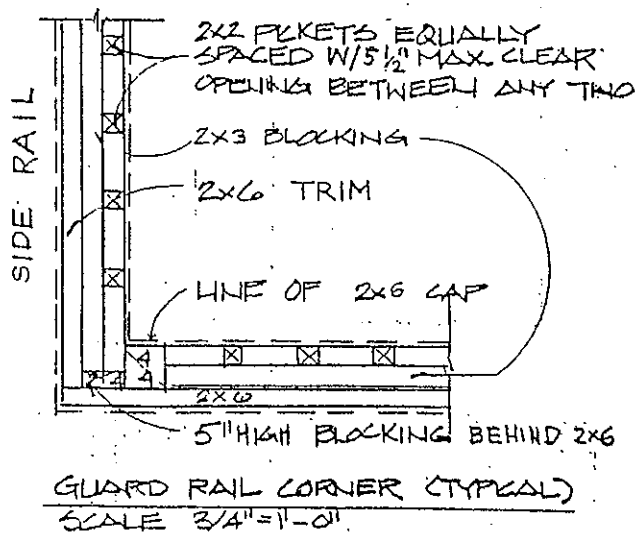
ADD ON BALCONY

NOTES:

- 1) ALL WOOD TO BE PRESSURE TREATED FOR EXTERIOR USE.
- 2) ALL FASTENERS TO BE NON-CORROSIVE.
- 3) ALL NAILED CONNECTIONS TO BE ACCORDING TO THE BOCA NAILING SCHEDULE.



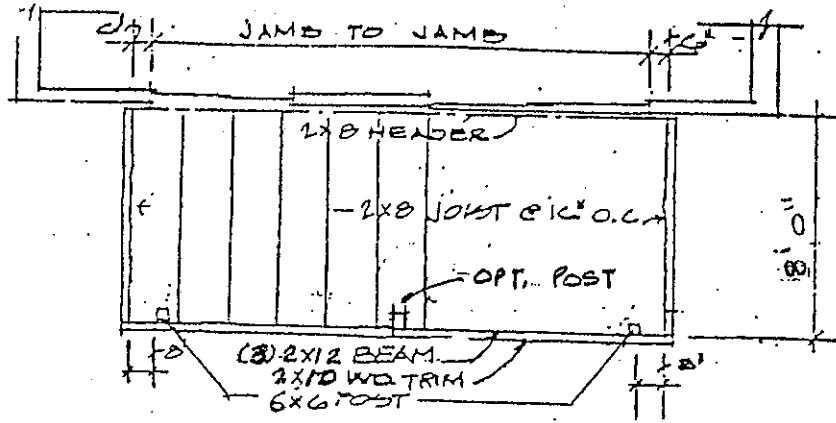
Deck Rail Detail



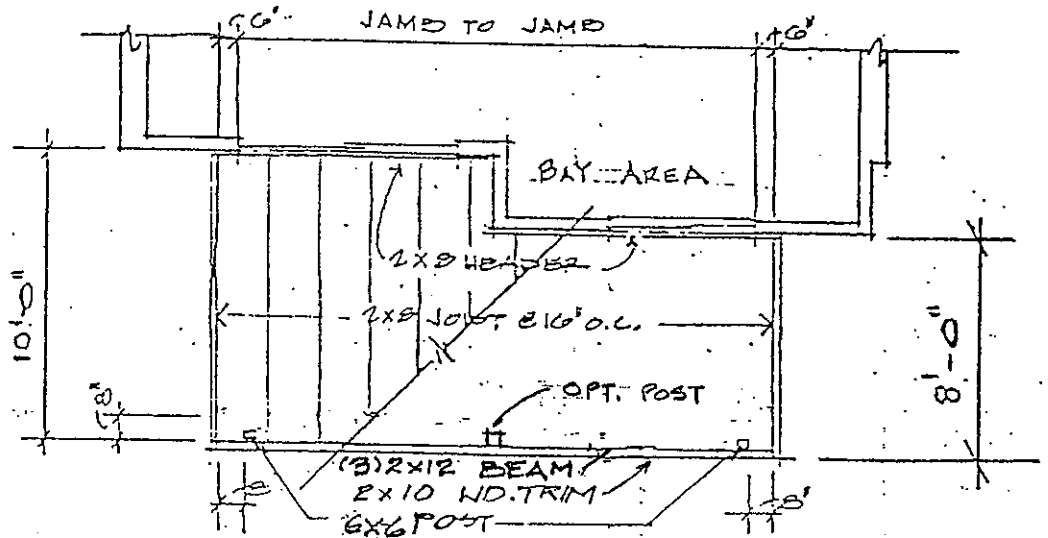
CLUB HILL

Add-on Balcony

5-13-86
*11-13-90



Deck Framing Plan (Denton, Annapolis & Cumberland models)

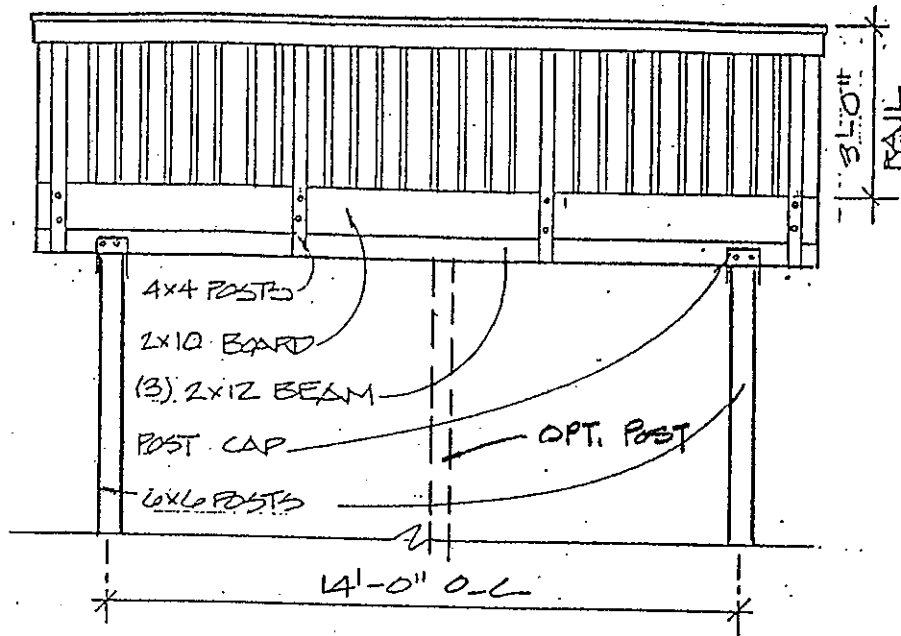


Deck Framing Plan (Braddock model)

CLUB HILL

TOWNHOUSES

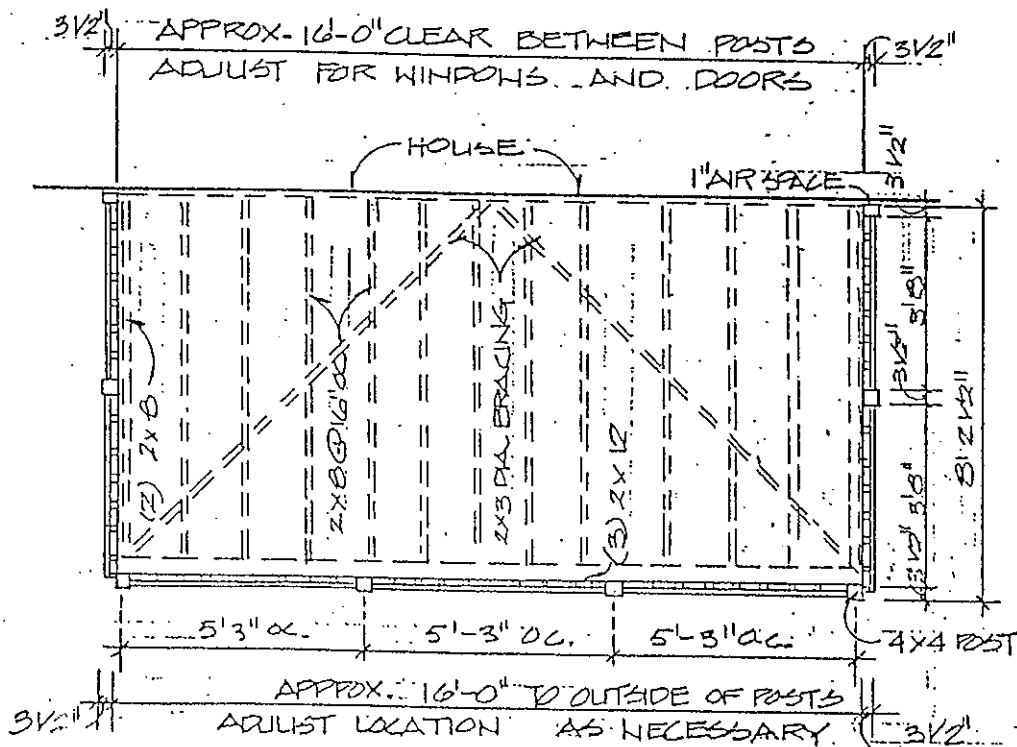
5-13-86
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Deck Rear Elevation

SCALE 1/4" = 1'-0"

CLUB HILL



Deck Framing Plan

SCALE 1/4" = 1'-0"



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ARCHITECTURAL STANDARDS DEPARTMENT

VILLAGE-WIDE SHED GUIDELINES

Wood or Pre-fabricated

These new guidelines may replace existing shed criterion for some homes corporations or it may serve only as an addendum to existing criteria. Because of the individuality of each community, sheds have to be reviewed on an individual basis. For the most part, these guidelines will be used as a Village-wide reference for staff, homeowners, for the Architectural Review Board, and the MVF Board of Directors.

1. Requisite: Only one shed per property will be approved.
2. Design and materials -
 - The roof style may be either gabled-framed or shed-framed (slanted). The roof material will be considered on an individual basis. The recommended roof material is either natural, unstained cedar wood shakes, or asphalt shingles in a color approved by the ARB.
 - Barn style roofs or other styles will not be approved.
 - Only one window is typically approved for a shed. Two windows may be considered on an individual basis.
 - Typically only one doorway is approved for a shed. Double doorways will be considered on an individual basis.
 - Although, originally, sheds were approved to be wood – Texture T-1-11 or grooved cedar – alternate shed materials will now be considered on an individual basis.
 - No shutters or window boxes will be approved for any shed.
3. Color –
 - If sheds are adjacent to the house, sheds are typically approved to be the color of the house siding or trim. The roof color is typically approved to be the same as the house. The siding and trim could be the same color.
 - If sheds are to be located in the rear yard, one solid, neutral color is preferred. All colors will be reviewed on an individual basis.
4. Location –
 - The location of the shed will be determined on an individual basis taking into account the lot configuration, lot size, relationship to the adjoining yard, and existing house and yard structures.

- Sheds to be located under elevated decks or in recessed areas of the house will have more flexibility as far as style and materials. Each application will be considered on an individual basis.

5. Size –

- **Single Family, Detached Home Communities:**
The recommended maximum width and length is 8'W x 10'L with a maximum height of 9' to the peak. Larger sheds will be considered on an individual basis.
- **Townhouse/ Zero-Lot-Line Communities with split-rail fences:**
The maximum width and length is 6'W x 8'L with a maximum height of 8' to the peak. Larger heights will be considered on an individual basis based on yard size.
- **Townhouse Communities with yard enclosure fences:**
The maximum width and length is 4'W x 8'L with the shed height not to exceed the fence height. Higher roof peaks will be considered on an individual basis.

These guidelines would not apply to communities which have a specific shed criterion (sheds constructed in conjunction with fences, etc.) or where sheds are prohibited.

VILLAGE-WIDE SHED GUIDELINES LIST OF COMMUNITIES

Homes Corporation	Communities with new shed guidelines	Communities where new shed guidelines will not apply (only existing criteria will apply)
Eastgate	Hickory Grove Kings Point The Meadows The Mews Ridgefield Wood Edge	Charlesgate
East Village	Ashford The Downs The Estates The Estates - Section 7B Essex Place II & III Gable Field Holly Pointe Meadowgate The Reach Wethersfield	Candleridge (material change) Glenbrooke
Maryland Place	Maryland Place	
Middle Village		Clubsie Thomas Choice West
Northgate	Apple Ridge Dorsey's Regard Shadow Oak The Points William's Range	McKendree Overlea
North Village	Essex Place I Pleasant Ridge Salem's Grant	Highland Hall McRory Perry Place Picton
Patton Ridge	Arrowhead Fairidge Greentee I & II Highfield Partridge Place	Fairway Island
Poplar Spring	Poplar Spring	
South Village	Center Stage	Dockside Grover's Forge Hamptons Millrace Nathan's Hill Walker's Choice
Stedwick	Club Hill Clusters I, II & III Frenhton Place The Heights The Ridges	Forest Brooke
Whetstone	Courts I, II & III Goshenside Lakeside The Ridges	